



Service: Full Home Inspection

Prepared for: Joan Dandridge

WIN Inspector

Brice Voyles

License no.: IL 450013462

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Inspection Information

Order Details

Site Address: 6053 Collins Road, Ellis Grove, IL, 62241

Service Date And Time: July 21, 2026 At 09:00 AM

Property Details

Approximate Square Footage: 1400

Occupied: Yes

Main Entry Door Faces: Northeast

Inspector Detail

Name: Brice Voyles

License Number: IL 450013462

Company Information

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Client

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Contact Number: (314) 882-6971

Explanation Of Terms

This report was prepared and written with the age and type of structure taken into consideration. Below is an explanation of the terms used in the report

Action Required

Items marked Action Required appear to be in need of immediate repair or replacement. Delay in repair or replacement may result in a dramatic shortening of the life expectancy of the item, have immediate effect on the item, system, structure, or other related items, or present a potential health and/or safety hazard.

Repairs Recommended

Items marked Repairs Recommended are in need of repair or replacement in order to make the item functional and/or prevent further deterioration.

Attention

Items marked Attention should be monitored or evaluated further. These items may not require immediate repair, but they show signs of wear or minor deficiencies that, if left unaddressed, could develop into more significant issues over time.

Preventive Measures

Items marked Preventive Measure are in need of routine maintenance or service to ensure continued functionality and prevent potential future issues. The inspector may recommend budgeting for this maintenance or obtaining further evaluation from a third-party professional to clarify or assess the condition of the item.

Functional

Items marked Functional appear to be in serviceable condition using normal operating controls. There was no visible indication of failure at the time the services were performed.

Limitation

Items marked limitation have limited access or limited ability to test or inspect fully, We recommend gaining further information on items marked as a limitation from the owner of the property or from a third party.

Not Inspected

Items marked Not Inspected may be present at the time the services were performed and were not inspected due to obstruction, accessibility, visibility, limitation, weather conditions or the inspection of the item is not within the scope of the services performed.

Informational

Items marked informational are included in the inspection as a courtesy or to add information to the customer to help them live in and maintain their home.

Summary

We have identified various items on the subject structure that either require maintenance now or require periodic maintenance in the normal course of ownership. This is only a summary report and is intended as a guide to be used in both short and long term scheduling of maintenance items. Please read the complete report carefully as additional information and details are contained therein. It is always advisable to use experienced tradespeople or a qualified handyperson when contracting for work that may not be within the scope of your capabilities.

Summary

Exterior

1 Double Keyed Deadbolts

🚧 Repairs Recommended

The double-keyed deadbolts, which require a key to unlock from both sides, can pose a fire safety hazard by restricting quick egress during an emergency. It is recommended to replace them with single-keyed deadbolts or other safe locking mechanisms. A qualified locksmith can evaluate and perform the necessary replacement.



Electrical

2 Zinsco Panel

⚠️ Action Required

The electrical service is provided by a Zinsco brand main panel, which is a known safety concern in the home inspection industry. These panels are notorious for design flaws where the circuit breakers can fail to trip, overheat, or even fall out of place, creating a significant fire and shock hazard. Due to the high risk of internal arcing and component instability, the dead front cover was not removed during this inspection. It is strongly recommended that a licensed electrician replace this panel with a modern, safe alternative to ensure the property's electrical integrity.

- **Manufacturer:** Zinsco (Sylvania/GTE-Sylvania)
- **Status:** Noted Safety Hazard
- **Recommended Action:** Full Replacement by Licensed Electrician



3 Zinsco Panel Not Opened

🔧 Repairs Recommended

The Zinsco panel inside the main service panel has not been opened. It is recommended to have a qualified electrician open the Zinsco panel for further evaluation. Zinsco panels have a history of safety issues and may pose a fire hazard due to potential design flaws. It is crucial to ensure the Zinsco panel is properly inspected and evaluated by a licensed electrician.

4 Melted Insulator On Feeder Conductor In Subpanel

🔧 Repairs Recommended

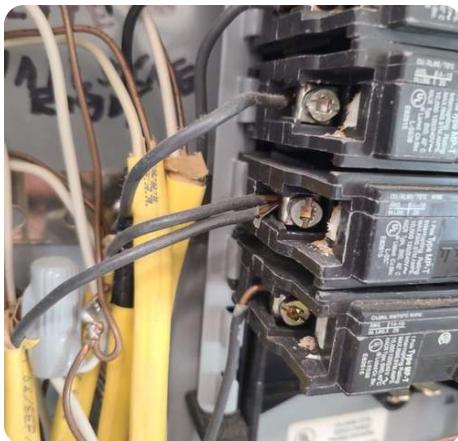
The insulator on the feeder conductor in the subpanel is melted, indicating a potential overheating issue. This could lead to electrical hazards and should be addressed promptly. It is recommended to have a licensed electrician evaluate and repair the melted insulator to ensure safe operation of the electrical system.



5 Double Tapped Breaker

🔧 Repairs Recommended

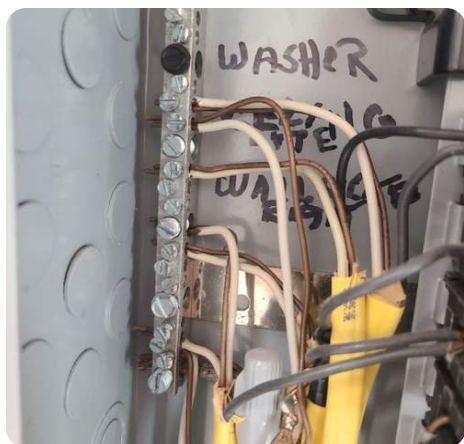
The double tapped breaker issue involves two wires being connected to a breaker designed for a single wire. This can lead to overheating, creating a fire hazard. It is recommended to have a qualified electrician evaluate and repair this issue by installing a separate breaker for each wire to ensure safety and proper function of the electrical panel.



6 Double-Tapped Neutral

✚ Repairs Recommended

Double-tapped neutral was observed at the sub-panel where two neutral wires are connected to a single terminal slot. This could result in poor connections, and overheating, and poses a potential fire hazard. It is advised to contact a qualified electrician to address this issue for the safety and optimal performance of the electrical system.



7 Pointed Screws In Subpanel

✚ Repairs Recommended

The subpanel was found to have pointed screws. Pointed screws are not recommended for subpanels as they may pierce the insulation of wires, leading to potential safety hazards. It is recommended to replace them with proper screws to ensure the safety and integrity of the electrical system. A licensed electrician should evaluate and replace the screws as needed.



8 Zinsco Breakers Replacement Required

🔧 **Repairs Recommended**

The Zinsco breakers in the electrical panel need to be replaced. Zinsco panels have a history of safety issues, including breakers failing to trip when overloaded, which can lead to electrical fires. It is recommended to have a qualified electrician evaluate and replace the Zinsco breakers with modern, safer alternatives to ensure the safety of the electrical system.

9 Exposed Splice

🔧 **Repairs Recommended**

The inspector noted exposed electrical splices on the property. It is recommended to contact a qualified professional to make the necessary repairs.



10 Missing GFCI Protection (Kitchen Counter)

🔧 **Repairs Recommended**

Kitchen countertops require Ground-Fault Circuit Interrupter (GFCI) protection for electrical receptacles. GFCI protection was not found for some counter-level receptacles, indicating a potential electrical shock hazard. We recommend that a qualified electrician evaluate the circuits and install proper GFCI protection to improve safety.



11 Missing GFCI For Jetted Tub

✚ Repairs Recommended

A jetted tub is missing Ground Fault Circuit Interrupter (GFCI) protection. It is recommended to have a qualified electrician install a GFCI outlet near the tub for improved safety. GFCIs help protect against electric shocks in areas where water is present. Evaluate and repair by installing a GFCI outlet to ensure proper electrical safety measures are in place.



12 Missing GFCI Protection (Exterior)

✚ Repairs Recommended

The GFCI (Ground Fault Circuit Interrupter) protection is absent for the exterior electrical outlets. GFCI outlets are essential for safeguarding against electric shock risks, particularly in wet or damp locations like the exterior. It is advised to install GFCI outlets for safety and to meet electrical codes. Contact a qualified electrician to assess and set up the required GFCI protection.



13 Missing GFCI Protection (Bathroom)

✚ Repairs Recommended

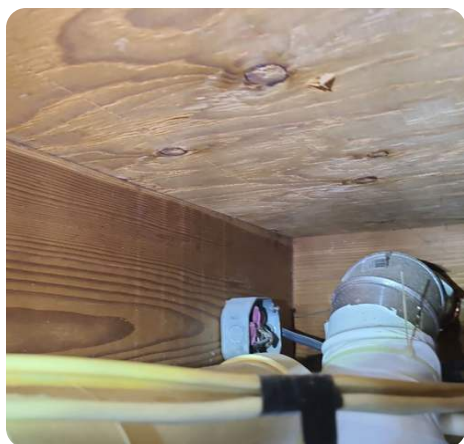
All receptacles in the bathroom lack GFCI (Ground-Fault Circuit Interrupter) protection, which is a safety concern in locations with exposure to water. GFCI protection is a standard safety feature that helps prevent electrocution. Recommend a qualified electrician evaluate and upgrade the bathroom receptacles to meet current safety standards.



14 Open Junction Box

✚ Repairs Recommended

An open junction box containing exposed wire connections was observed within the home at the time of the inspection. Junction box covers offer protection to the wire connections, limits debris and rodent access, while containing any potential arcing within the box. It is recommended that an approved cover be installed by a qualified professional.



Plumbing

15 Septic System Evaluation

Attention

It is recommended to have the septic system evaluated by a qualified septic professional. This assessment is crucial to ensure proper functionality and prevent potential sewage backups or health hazards. Promptly addressing any septic system issues can help avoid costly repairs or replacements in the future.

16 Copper Gas Line Inspection

Repairs Recommended

The copper propane gas line is not recommended for gas supply as it may not be approved for gas distribution. It is recommended to have a licensed plumber evaluate and replace the copper gas line with an appropriate material for gas supply, such as black steel or CSST piping.



17 Missing Shut Off Valve For Toilet

Repairs Recommended

The toilet is missing a shut-off valve, which is essential for turning off the water supply to the toilet when needed. It is recommended to have a qualified plumber install a shut-off valve to ensure proper functionality and maintenance of the toilet.



Interior

18 Missing Smoke Alarm In Sleeping Area

⚠ Action Required

The sleeping areas are missing a smoke alarm, which is a safety hazard as smoke alarms are crucial for early fire detection in residential properties. It is recommended to install a smoke alarm in each sleeping area and in the vicinity directly outside each sleeping area to ensure adequate fire safety coverage throughout the home. Correction to this issue is needed for safety reasons.

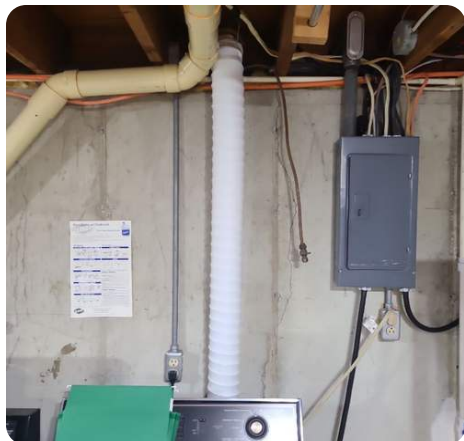
Appliances

19 Improper Dryer Vent Material

🔧 Repairs Recommended

📍 Location: Basement

The dryer vent system is constructed with improper material. It is recommended to use only rigid or flexible metal venting material for the dryer exhaust. Improper materials such as plastic or foil can be a fire hazard due to their flammability. The issue should be addressed promptly by a qualified HVAC technician to ensure proper ventilation and reduce the risk of fire.



Insulation and Ventilation

20 Non-Functioning Powered Vent Fan

🔧 Repairs Recommended

The powered vent fan in the attic is not functioning. It is recommended to evaluate and repair the fan to ensure proper ventilation in the attic. Proper attic ventilation helps in preventing moisture buildup and prolongs the life of the roof. A qualified electrician or HVAC technician can assess and repair the powered vent fan to maintain good air circulation.



21 Backwards Installation Of Batts

🔧 Repairs Recommended

The batts in the crawl space are installed backwards. This can reduce their effectiveness in providing insulation. We recommend evaluating and reinstalling the batts with the vapor barrier facing the appropriate direction to ensure maximum insulation efficiency. A qualified insulation contractor should be consulted for this repair.



22 No Vapor Barrier

✚ Repairs Recommended

The structure crawl space lacks a vapor barrier. It is suggested to install a vapor barrier or Moist-Stop if any dampness occurs in the crawl area. A vapor barrier covering the soil can help reduce moisture in this area and the structure. This item is commonly available at most home improvement or hardware stores.



Full Home Inspection

Full Home Inspection

1.1 Exterior > Siding and Trim

About the Siding and Trim

Siding Material: Aluminum, Brick Veneer

Siding And Trim

✓ Functional

The visible siding and trim appear functional and are providing the intended moisture protection at this time. The condition of the walls behind the siding could not be determined during this non-invasive inspection. Regular monitoring, particularly after severe weather, is recommended to identify any damage or wear and help maintain the home's exterior integrity.



Siding And Trim Evaluation

i Informational

Ongoing care of these materials is recommended to help maintain the home's integrity, weather resistance, and appearance. Regular cleaning, repainting, and periodic inspections can reduce the risk of deterioration and extend the service life of the exterior surfaces.

1.2 Exterior > Paint/Coating and Caulking

Wooden Window Trim Painting Recommendation

 Preventive Measure

The wooden window trim requires painting to protect it from weather damage and prolong its lifespan. It is recommended to evaluate the current condition, scrape off any loose paint, sand the surface for better adhesion, apply a primer, and then paint with a suitable exterior paint. Ensuring proper preparation and using high-quality paint will help maintain the integrity of the trim.



General Maintenance Tips

 Informational

Inspect and touch up caulking around window and door trim, as well as any gaps or openings, between painting cycles. Doing this in the fall, before the rainy season, helps prevent water from getting behind siding and trim, which can lead to premature deterioration. Regular caulking maintenance protects the structure and extends the life of exterior materials.

1.3 Exterior > Exterior Windows

About the Exterior Windows

Window Type: Vinyl, Wood, Dual-Pane

Exterior Windows Inspected

 Functional

The exterior windows were inspected and appeared to be in functional condition at the time of inspection. Regular monitoring and maintenance are recommended to ensure they continue to operate properly and maintain a weather-tight seal.

1.4 Exterior > Eaves, Soffits, and Fascia

The Accessible Fascia Boards, Soffits And Trim Functional

 Functional

The exterior fascia boards, soffits, and trim appear to be in functional condition. However, because some areas are elevated and cannot be closely inspected, there may be issues that are not visible from the ground. Regular monitoring and maintenance are recommended to ensure these components continue to perform as intended.



1.5 Exterior > Vegetation, Grading, Surface Drainage

Grading Recommendations

i Informational

The soil around the foundation should be properly graded to direct water away from the home. Even on seemingly flat lots, water can accumulate due to soil type or runoff from nearby areas. To help protect the foundation, maintain a slope that directs water away from the structure — ideally at least 6 inches over the first 6 to 10 feet from the foundation. Regularly monitoring and adjusting grading can prevent water-related damage over time.

Vegetation Recommendations

i Informational

Maintain at least 12 inches of clearance between vegetation and the home. When trees, vines, or shrubs grow too close, they can hold moisture against the siding and provide an easy path for pests to enter. Trimming back plant growth is a simple, routine task that helps protect the exterior and extends the life of building materials.

1.6 Exterior > Exhaust Hoods, Vents, and Other Penetrations

Exterior Vents And Penetrations Functional

✓ Functional

The exterior vents and siding penetrations appeared functional at the time of inspection. Routine monitoring and maintenance are recommended to ensure they remain clear, undamaged, and operating efficiently. Regular visual checks and cleaning help maintain proper ventilation and prevent potential problems.



1.7 Exterior > Exterior Doors

Double Keyed Deadbolts

 (Included in
Summary)

 **Repairs Recommended**

The double-keyed deadbolts, which require a key to unlock from both sides, can pose a fire safety hazard by restricting quick egress during an emergency. It is recommended to replace them with single-keyed deadbolts or other safe locking mechanisms. A qualified locksmith can evaluate and perform the necessary replacement.



Re-Keying Recommended

Informational

For improved security, we recommend re-keying all exterior doors upon moving into the home. This precaution helps ensure that only you and your authorized occupants have access. A qualified locksmith can perform this service

1.8 Exterior > Retaining Walls

Generally Serviceable

Functional

The retaining walls appeared serviceable at the time of inspection. Regular monitoring and maintenance are recommended to ensure they continue to perform as intended and to address any potential issues early.



1.9 Exterior > Additional Information

Detached Structure Not Inspected

Not Inspected

This property includes one or more detached structures. These structures are not part of a standard home inspection and were not evaluated as part of this inspection. Their condition and safety were not assessed.



2.1 Decks, Balconies, Paved Surfaces > Hand Rails, Guardrails, Steps

Railings, Guardrails, Steps Evaluated

✓ Functional

The railings/guardrails were evaluated to assess their safety and condition. This included verifying that the railings are at appropriate heights and free of hazards.



2.2 Decks, Balconies, Paved Surfaces > Patios, Porches, Stoops

Wear And Safety Check

✓ Functional

Each area was checked for signs of wear such as cracking, settling, or erosion that could impact usability and safety. The surfaces were found to be serviceable at the time of the inspection.

2.3 Decks, Balconies, Paved Surfaces > Walkways, Driveway

About the Walkways, Driveway

Address Identification: Visible

Visible: The property's address is visible from the street, facilitating easy location by first responders. It's advisable to verify the visibility of house numbers twice annually to ensure they remain clear.

Walkways And Driveways Evaluated

✓ Functional

The inspection of the walkways and driveway included checking for cracks, uneven surfaces, and proper drainage to prevent standing water.



3.1 Roof > Roof Covering

About the Roof Covering

Pitch: Pitched

Pitched: A pitched roof is characterized by sloped surfaces that meet at an angle, designed to facilitate water runoff and add architectural appeal.

Roof Covering Material: Asphalt Shingles

Apparent Number of Layers: 1 Layer

Approximate Age of Roof: 1-5 Years Old

Not A Roof Warranty

⚠ Limitation

The inspector is NOT a licensed roofing contractor, and does not provide a leak-tight guarantee or a warranty for the roof system. The inspector only provides a general condition report on the visible surface areas based on his experience. For a more detailed inspection of the installation and remaining service life of the roof cover, contact a qualified roofing contractor for further review.

Roof Covering Evaluated

✓ Functional

At the time of inspection, the roof covering was observed to be free of visible signs of wear, damage, or deterioration. The roof covering was functioning as expected, based on visible conditions.



3.2 Roof > Flashing and Valleys

Flashing And Valleys

✓ Functional

The roof's flashing and valleys were evaluated to ensure they were properly installed and in good condition. This included an examination for signs of rust, cracks, or any separations that could lead to water intrusion. The areas around chimneys, vents, and intersections were checked to ensure they were sealed correctly.



Regular Proper Care And Maintenance

i Informational

It is recommended that the sealant around any chimney, roof vents, and flashing material be inspected and touched up on an annual basis. Removing any rust and corrosion is recommended to prevent deterioration and damage. Also, any exposed nails at roof vents/flashing should be sealed. Rainwater leaking into the main structure from the roof is a common and avoidable condition if the roofing system is maintained routinely.

3.3 Roof > Roof Vents and Penetrations

Roof Penetrations

✓ Functional

All accessible roof penetrations, such as roof vents, vent covers, and plumbing vents were inspected and appeared to be free of defects. This includes the related flashing.



3.4 Roof > Gutters, Downspouts, and Drainage

Annual Maintenance Advised

Informational

It is recommended to inspect and clean the gutter system and roof surface on an annual basis. Typically, gutters have a life span of approximately 20-25 years, depending on the type of material. If the current gutter system is approaching or has exceeded its lifespan, budgeting for replacement is recommended. Also, if overhanging trees are present, there are gutter screen materials that can be installed to help keep leaves and other debris out of the gutter system to prevent clogging of the gutters, downspouts, and drain system.

Buried Drains

Limitation

The effectiveness of the buried drains cannot be determined. It is recommended to further evaluate the buried drains by a qualified drainage specialist to ensure proper functioning and prevent any potential drainage issues.



Gutter Guards Observed

i Informational

The gutter guards are currently installed on the gutters, designed to prevent debris from clogging them. This can help maintain proper drainage and prevent potential water damage. Periodically checking and cleaning the gutter guards is recommended to ensure they are functioning effectively.



3.5 Roof > Evaluation Method

About the Evaluation Method

Method of Inspection: Walked Surface

Walking Surface

i Informational

The roof surface was walked during the inspection (where accessible), to assess its condition. It is important to regularly inspect the roof to identify any potential issues and address them promptly. Keeping the roof in good condition will help maintain the overall integrity of the home.

4.1 Electrical > Service Entrance and Grounding

About the Service Entrance and Grounding

Main Service: Overhead

Main Service Conductor: Multi-Stranded Aluminum

Electric Meter Serviceability

✓ Functional

The electric meter is serviceable. It is recommended to periodically check for any signs of damage or wear to ensure smooth operation.



4.2 Electrical > Main Service Panels and Disconnects

About the Main Service Panels and Disconnects

Main Panel Location: Basement

Subpanel Capacity: 100 amps

Zinsco Panel

(Included in
Summary)

⚠ Action Required

The electrical service is provided by a Zinsco brand main panel, which is a known safety concern in the home inspection industry. These panels are notorious for design flaws where the circuit breakers can fail to trip, overheat, or even fall out of place, creating a significant fire and shock hazard. Due to the high risk of internal arcing and component instability, the dead front cover was not removed during this inspection. It is strongly recommended that a licensed electrician replace this panel with a modern, safe alternative to ensure the property's electrical integrity.

- **Manufacturer:** Zinsco (Sylvania/GTE-Sylvania)
- **Status:** Noted Safety Hazard
- **Recommended Action:** Full Replacement by Licensed Electrician



4.3 Electrical > Interior Components of Main Service Panels

About the Interior Components of Main Service Panels

Panel Cover Removed: No

Brand of Electric Service Panel: Zinsco

Zinsco Panel Not Opened

 (Included in Summary)

 Repairs Recommended

The Zinsco panel inside the main service panel has not been opened. It is recommended to have a qualified electrician open the Zinsco panel for further evaluation. Zinsco panels have a history of safety issues and may pose a fire hazard due to potential design flaws. It is crucial to ensure the Zinsco panel is properly inspected and evaluated by a licensed electrician.

4.4 Electrical > Interior Components of Subpanels

About the Interior Components of Subpanels

Subpanel Location: Laundry Room

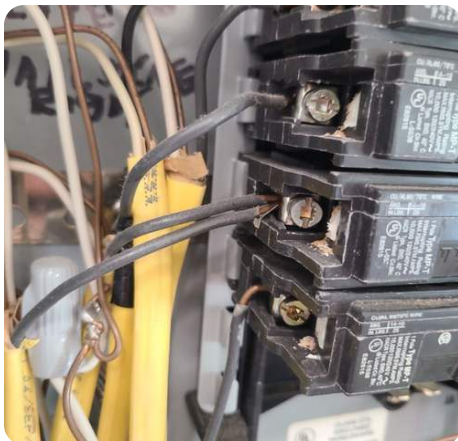
Brand of Electric Subpanel: Murray

Double Tapped Breaker

 (Included in Summary)

 Repairs Recommended

The double tapped breaker issue involves two wires being connected to a breaker designed for a single wire. This can lead to overheating, creating a fire hazard. It is recommended to have a qualified electrician evaluate and repair this issue by installing a separate breaker for each wire to ensure safety and proper function of the electrical panel.

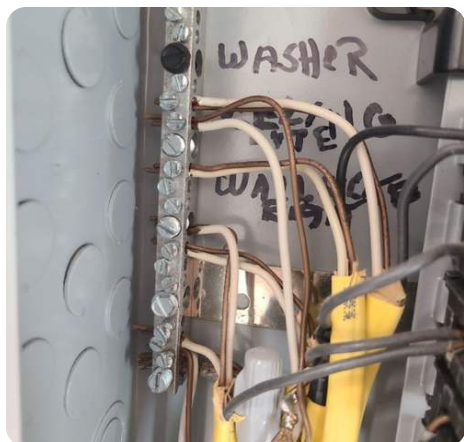


Double-Tapped Neutral

 (Included in Summary)

 Repairs Recommended

Double-tapped neutral was observed at the sub-panel where two neutral wires are connected to a single terminal slot. This could result in poor connections, and overheating, and poses a potential fire hazard. It is advised to contact a qualified electrician to address this issue for the safety and optimal performance of the electrical system.



Pointed Screws In Subpanel

 (Included in Summary)

 Repairs Recommended

The subpanel was found to have pointed screws. Pointed screws are not recommended for subpanels as they may pierce the insulation of wires, leading to potential safety hazards. It is recommended to replace them with proper screws to ensure the safety and integrity of the electrical system. A licensed electrician should evaluate and replace the screws as needed.



Melted Insulator On Feeder Conductor In Subpanel

 (Included in Summary)

 **Repairs Recommended**

The insulator on the feeder conductor in the subpanel is melted, indicating a potential overheating issue. This could lead to electrical hazards and should be addressed promptly. It is recommended to have a licensed electrician evaluate and repair the melted insulator to ensure safe operation of the electrical system.



4.5 Electrical > Breakers/Fuses

Zinsco Breakers Replacement Required

 (Included in Summary)

 **Repairs Recommended**

The Zinsco breakers in the electrical panel need to be replaced. Zinsco panels have a history of safety issues, including breakers failing to trip when overloaded, which can lead to electrical fires. It is recommended to have a qualified electrician evaluate and replace the Zinsco breakers with modern, safer alternatives to ensure the safety of the electrical system.

4.6 Electrical > Wiring

About the Wiring

Wire Type: Non-Metallic Sheathed (Romex)

Wire Material: Copper

Exposed Splice

 (Included in Summary)

 **Repairs Recommended**

The inspector noted exposed electrical splices on the property. It is recommended to contact a qualified professional to make the necessary repairs.



4.7 Electrical > GFCIs

Missing GFCI Protection (Exterior)

 (Included in Summary)

 **Repairs Recommended**

The GFCI (Ground Fault Circuit Interrupter) protection is absent for the exterior electrical outlets. GFCI outlets are essential for safeguarding against electric shock risks, particularly in wet or damp locations like the exterior. It is advised to install GFCI outlets for safety and to meet electrical codes. Contact a qualified electrician to assess and set up the required GFCI protection.



Missing GFCI Protection (Kitchen Counter)

 (Included in Summary)

 **Repairs Recommended**

Kitchen countertops require Ground-Fault Circuit Interrupter (GFCI) protection for electrical receptacles. GFCI protection was not found for some counter-level receptacles, indicating a potential electrical shock hazard. We recommend that a qualified electrician evaluate the circuits and install proper GFCI protection to improve safety.



Missing GFCI Protection (Bathroom)

 (Included in Summary)

 **Repairs Recommended**

All receptacles in the bathroom lack GFCI (Ground-Fault Circuit Interrupter) protection, which is a safety concern in locations with exposure to water. GFCI protection is a standard safety feature that helps prevent electrocution. Recommend a qualified electrician evaluate and upgrade the bathroom receptacles to meet current safety standards.



Missing GFCI For Jetted Tub

 (Included in Summary)

 **Repairs Recommended**

A jetted tub is missing Ground Fault Circuit Interrupter (GFCI) protection. It is recommended to have a qualified electrician install a GFCI outlet near the tub for improved safety. GFCIs help protect against electric shocks in areas where water is present. Evaluate and repair by installing a GFCI outlet to ensure proper electrical safety measures are in place.



4.8 Electrical > AFCIs

AFCI Protection Not Present

 Preventive Measure

AFCI (Arc Fault Circuit Interrupter) protection is not present in the electrical panel. This home may pre-date the requirement for this type of device. AFCI protection is a newer safety feature that helps prevent electrical fires caused by arcing faults. We recommend consulting a qualified electrician if you want to make this upgrade to the home.

4.9 Electrical > Fixtures, Switches, and Receptacles

Open Junction Box

 (Included in Summary)

 Repairs Recommended

An open junction box containing exposed wire connections was observed within the home at the time of the inspection. Junction box covers offer protection to the wire connections, limits debris and rodent access, while containing any potential arcing within the box. It is recommended that an approved cover be installed by a qualified professional.



4.10 Electrical > Additional Information

Low-Voltage Wiring And Communication Lines

Not Inspected

Evaluation of low-voltage wiring and communication lines is not within the scope of a commercial inspection. It is recommended to consult a qualified low-voltage wiring specialist for detailed assessment and maintenance, if needed.



5.1 HVAC > Heating Equipment

About the Heating Equipment

Location of Heating System: Basement Utility Room

Heating Method: Forced Air

Heating System Energy Source: Propane

Approximate Manufactured Date of Heating System: Manufactured 2016

Service Notes: None Visible

High Efficiency Furnace Information

Informational

Carrier unit manufactured in FEB 2016 (Model: 59TN6A080V171114, Serial: 0716A44414) with a heating size of 80,000 BTU/hr input and a 3.5-ton nominal airflow rating. Routine evaluation and servicing by a qualified licensed HVAC contractor are recommended to ensure proper operation, safety, and system longevity.



5.2 HVAC > Cooling Equipment

About the Cooling Equipment

Location of Cooling System: Exterior and Basement

Cooling Method: Central Air Conditioner

Approximate Manufactured Date of Cooling System: Manufactured 2007

Service Notes : None Visible

Approximate Tonnage : 3 Ton

Delta Tb (Temperature Drop): Adequate

HVAC Equipment Life Expectancy

i Informational

The average life expectancy of HVAC equipment in a home is typically around 15-25 years. Regular maintenance and timely repairs can help extend the lifespan of the system. We recommend scheduling annual maintenance by a qualified HVAC technician to ensure optimal performance and longevity of the equipment.

Carrier AC Unit

✓ Functional

The HVAC unit data tag identifies Model #24ANA736A0030020, Serial #2407E31986, manufactured in June 2007 (week 24). The unit has a size/cooling capacity of 3 tons (36,000 BTU). Regular servicing by a qualified HVAC professional is recommended to evaluate performance, clean components, and ensure ongoing system reliability and efficiency.

Deteriorated Insulation Around Refrigerant Line

 Preventive Measure

The insulation around the refrigerant line is deteriorated. This issue is commonly found on older HVAC systems due to wear and tear. It is recommended that the insulation be evaluated and repaired to prevent energy loss and potential efficiency issues. A qualified HVAC technician should repair or replace the insulation to ensure the system operates efficiently.



5.3 HVAC > Thermostats and Controls

About the Thermostats and Controls

Thermostat Location: Hallway

Generally Serviceable

 Functional

The controls appeared to be serviceable at the time of inspection.



5.4 HVAC > Distribution/Return Ducts and Systems

About the Distribution/Return Ducts and Systems

Filter Size: 20 × 25 × 4

Location of Filter: At Appliance

Number of Filters Present: 1

Generally Serviceable

✓ Functional

The distribution systems appeared to be serviceable at the time of inspection.



5.5 HVAC > Exhaust Vents and Flues

Vents And Flues Evaluated

✓ Functional

The HVAC system vents and flues were found to be in functional condition at the time of this inspection.

5.6 HVAC > Condensate System

Condensate System Functionality

✓ Functional

The condensate system was found to be functional during the inspection.

6.1 Plumbing > Water Supply and Piping

About the Water Supply and Piping

Structure Pipe Material: PVC

Incoming Water Line Pipe Material: PVC

Water Source: Public

Water Supply System Evaluated

✓ Functional

The water supply and piping were found to be functional during the inspection, with no visible signs of leaks or damage. To maintain the plumbing system's efficiency and prevent potential issues, regular maintenance and periodic inspections by a qualified professional are strongly recommended.

6.2 Plumbing > Main Water Shutoff

About the Main Water Shutoff

Water Meter Location: Not Located

Water Shut-off Location: Basement Utility Room

Size of Main Water Line: 3/4"

Generally Serviceable

✓ Functional

📍 Location: Basement

The main water shutoff appeared to be serviceable at the time of inspection.



6.3 Plumbing > Drain, Waste, and Vent Systems

About the Drain, Waste, and Vent Systems

Waste Pipe Material: PVC

Main Sewer Clean-Out Location: Basement

Sewer Type: Septic

Septic System Evaluation

 (Included in Summary)

ⓘ Attention

It is recommended to have the septic system evaluated by a qualified septic professional. This assessment is crucial to ensure proper functionality and prevent potential sewage backups or health hazards. Promptly addressing any septic system issues can help avoid costly repairs or replacements in the future.

Sewer Line Clean Out Location In Basement

ⓘ Informational

The sewer line clean out in the basement is recommended to be easily accessible and identifiable. It is beneficial for maintenance and inspection purposes. Make sure the clean out cap is securely in place to prevent any leaks or odors. If not already present, consider adding a label or marker for clear identification.



Fernco Adapter On Drain Line Issue

 Preventive Measure

 Location: Basement

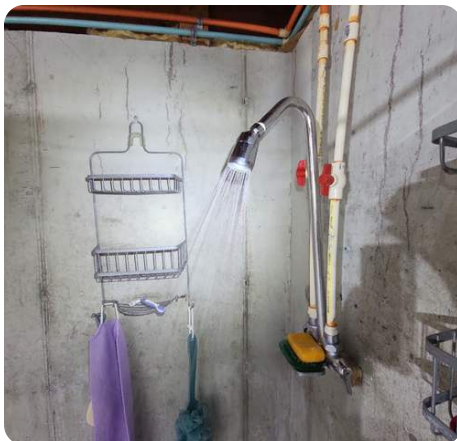
The Fernco adapter on the drain line is not an approved plumbing fitting. This can lead to leaks and potential drainage issues. It is recommended to have a qualified plumber evaluate and replace the Fernco adapter with the appropriate plumbing fittings to ensure proper drainage and prevent future issues.



Basement Shower And Sinks Draining Into Floor Drain

 Preventive Measure

The basement shower and sinks are draining directly into the floor drain is not ideal as it can lead to potential drainage issues and sewer odors. It is recommended to have a licensed plumber evaluate and reroute the drainage to the main sewer line for proper disposal of wastewater. This setup can also cause backups and clogs if not addressed.



Visual Inspection Of Drain Pipes

Informational

This is a visual examination of the exterior piping. We recommend questioning the seller regarding their knowledge of any slow draining or other plumbing-related issues.



6.4 Plumbing > Fuel Supply

About the Fuel Supply

Fuel Service: Propane

Propane: Gas line inspections are typically conducted only if problems are suspected. Corrosion on visible lines should prompt an inspection by the utility provider.

Fuel Shut Off Location: At Tank and Appliances

Copper Gas Line Inspection

(Included in Summary)

Repairs Recommended

The copper propane gas line is not recommended for gas supply as it may not be approved for gas distribution. It is recommended to have a licensed plumber evaluate and replace the copper gas line with an appropriate material for gas supply, such as black steel or CSST piping.



Propane Tank

i Informational

There is a propane storage tank located near the house. It is recommended to have the tank periodically inspected by a qualified plumber or gas technician to ensure proper functioning and safety standards are met.



6.5 Plumbing > Toilets

Toilets Inspection General Information

i Informational

The toilets were flushed and inspected for cracks, leaks, and serviceability. The toilets should be inspected periodically for indications of cracking in the toilet bowl, tank, or base. Also, periodic replacement of flapper valves and water towers should be expected as typical homeowner maintenance.

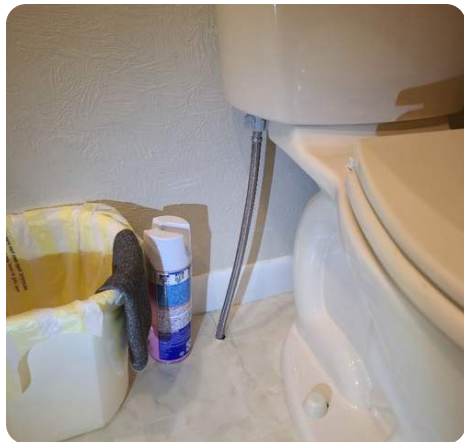


Missing Shut Off Valve For Toilet

 (Included in Summary)

 Repairs Recommended

The toilet is missing a shut-off valve, which is essential for turning off the water supply to the toilet when needed. It is recommended to have a qualified plumber install a shut-off valve to ensure proper functionality and maintenance of the toilet.



6.6 Plumbing > Tubs, Showers, and Fixtures

Jetted Tub Functionality

 Informational

The jetted tub was evaluated and found to be in functional condition. It is recommended to operate the jet functions periodically to ensure proper functionality and prevent any potential clogs. Regular maintenance of the jet system will help in extending its lifespan and enjoying a relaxing bathing experience.



Water Exposed Areas

i Informational

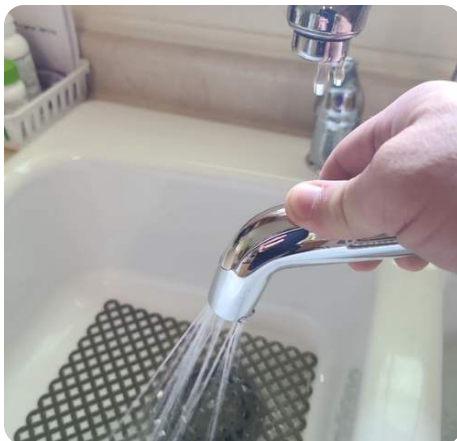
Routine preventive maintenance should include applying and maintaining caulking in and around tubs and shower surrounds to prevent moisture penetration behind tub and shower wall/floor cover materials.



Plumbing Fixtures Maintenance Information

i Informational

Routine preventive maintenance and/or replacement of fixtures is needed periodically. Faucets and valves have a typical life expectancy of 5-15 years. General wear, depending on the quality of fixture, is expected. Preventative measures, such as the installation of a soft water or water conditioning unit is recommended.



7.1 Water Heating Equipment > Water Heater

About the Water Heater

Water Heater Location: Basement Utility Room

Water Heater Type: Electric

Water Heater Capacity : Approximately 50 Gallons

Approximate Manufactured Date of Water Heater: Manufactured 2009

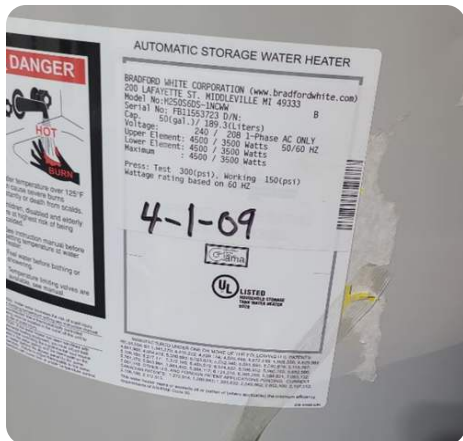
Approximate Water Temperature: Under 120 Degrees

Seismic Strapping: No

Water Heater Information

[i Informational](#)

The Bradford White electric water heater (Model: M250S6DS-1NCWW, Serial: FB11553723) has a 50-gallon capacity, and a manufacture date of February 2009 (installed 4-1-09). Given its age, the unit has exceeded its typical expected service life. While currently operational, future replacement should be budgeted for, and routine annual evaluation by a licensed plumber is recommended to ensure safe, continued performance.



7.2 Water Heating Equipment > TPR Valve/Discharge Pipe

TPR Valve And Discharge Pipe

✓ Functional

The water heater's temperature/pressure relief valve is equipped with an approved discharge pipe. The pipe serves the purpose of preventing someone from being sprayed with scalding water in the event that the valve were to discharge. These components were in satisfactory condition at the time of the inspection.



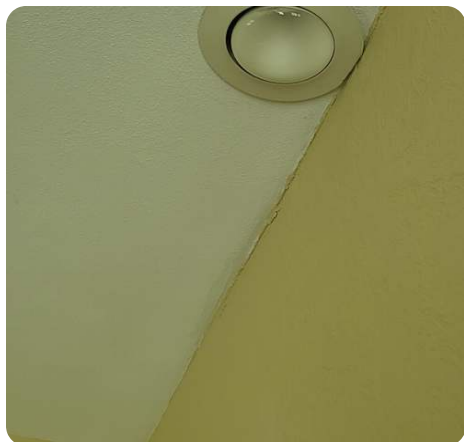
8.1 Interior > Walls, Ceilings, and Floors

Tape Separation/Crack

🔧 Repairs Recommended

📍 Location: Main Entry

The tape separation/crack is observed. It is recommended to evaluate and repair the affected areas to prevent further damage. A qualified drywall professional can repair the tape separation and cracks to ensure a seamless finish.



8.2 Interior > Steps, Stairways, and Railings

Steps, Stairways, And Railings Evaluated

✅ Functional

The steps, stairways, and railings were visually inspected for signs of damage, wear, or instability. To ensure continued safety, regular inspections and maintenance are recommended to address any potential issues that may develop over time.



8.3 Interior > Doors

Interior Doors - Functional

✓ Functional

All accessible doors were inspected to ensure proper alignment, secure fitting, and smooth operation. No functional defects or issues were observed during the inspection, and the doors were found to be in satisfactory working condition.

8.4 Interior > Smoke Alarms

Missing Smoke Alarm In Sleeping Area

(Included in Summary)

⚠ Action Required

The sleeping areas are missing a smoke alarm, which is a safety hazard as smoke alarms are crucial for early fire detection in residential properties. It is recommended to install a smoke alarm in each sleeping area and in the vicinity directly outside each sleeping area to ensure adequate fire safety coverage throughout the home. Correction to this issue is needed for safety reasons.

8.5 Interior > Carbon Monoxide Alarms

CO Alarms Appear Functional

✓ Functional

The CO alarms appear to be functional. We recommend changing the batteries twice per year or buying extended-life devices. The devices should be changed every 10 years.

8.6 Interior > Countertops and Installed Cabinets

Stored Items Under Sinks And In Cabinets

🚫 Limitation

Stored items were found under the sinks and in cabinets throughout the home at the time of the inspection, which may have hindered a complete visual inspection. Further evaluation is recommended when access can be gained.



8.7 Interior > Caulking, Grout, and Enclosures

Caulking, Grout, And Enclosures Evaluated

✓ Functional

The caulking, grout, and enclosures in wet areas were evaluated for signs of cracking, wear, and general deterioration. Minor caulking and re-grouting is recommended throughout the home as part of normal home maintenance, however no significant cracks were found at the time of the inspection.

8.8 Interior > Windows

Interior Windows Tested

✓ Functional

A representative number of accessible windows were evaluated to assess their condition and functionality. Each window in this sample was tested for ease of operation, including opening, closing, and locking mechanisms. Frames and seals were also checked for any signs of damage or potential air leakage. The windows inspected were found to be in working order (unless otherwise noted).

9.1 Appliances > Stove, Cooktop

About the Stove, Cooktop

Energy Source: Electric

Cooktop Tested

✓ Functional

An on / off test was performed to determine if the cooktop was functioning. Periodic cleaning and maintenance is recommended for continued use.



9.2 Appliances > Oven

About the Oven

Energy Source: Electric

Oven Tested ✓ Functional

The bake function of the oven was tested and found to be functional at the time of the inspection. This is an on/off test conducted on the oven.



9.3 Appliances > Dishwasher

Dishwasher Tested ✓ Functional

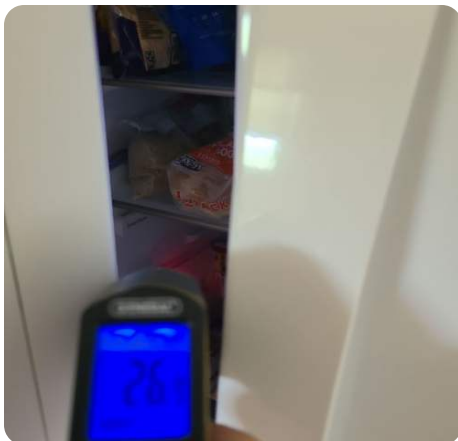
The dishwasher appears to be working at time of inspection. Dishwasher was ran on a light cycle.

9.4 Appliances > Refrigerator

Refrigerator Evaluated

✓ Functional

The interior of the refrigerator and freezer were cold when opened and functional at the time of inspection.



Water Dispenser Functionality

✓ Functional

The water dispenser on the refrigerator was found to be functional. It is always recommended to regularly check and clean the water dispenser to ensure proper operation and maintain water quality.



9.5 Appliances > Washer, Hookups, and Drains

Washer Tested

✓ Functional

📍 Location: Basement, Laundry Room

An rinse cycle was performed on the washing machine, which appeared to be in functional condition at the time of the inspection. There were no visible water leaks at the washing machine hook-up valves or drain during testing. This inspection does not cover the full range of washing machine settings or the ability to wash clothes.



9.6 Appliances > Dryer and Vent System

About the Dryer and Vent System

Dryer Energy Source: 240 V Electric

240 V Electric: Proper wiring or power to the 240v outlet cannot always be detected without the removal of the cover plate. The inspector will try using a voltage detector if the outlet is easily accessible.

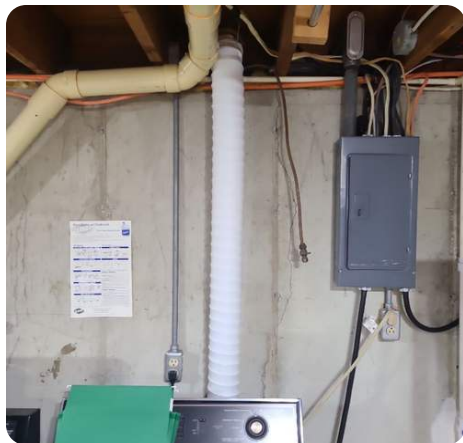
Improper Dryer Vent Material

 (Included in Summary)

 Repairs Recommended

 Location: Basement

The dryer vent system is constructed with improper material. It is recommended to use only rigid or flexible metal venting material for the dryer exhaust. Improper materials such as plastic or foil can be a fire hazard due to their flammability. The issue should be addressed promptly by a qualified HVAC technician to ensure proper ventilation and reduce the risk of fire.



Dryer Tested

✓ **Functional**

📍 Location: **Laundry Room**

An on/off test was performed on the clothes dryer. The interior temperature of the dryer responded to the controls. The inspector is not able to dry clothes or conduct a full test of all the settings.



9.7 Appliances > Additional Information

Recirculating Vent Inspection

✓ **Functional**

The recirculating vent for the range has been tested and is functional.

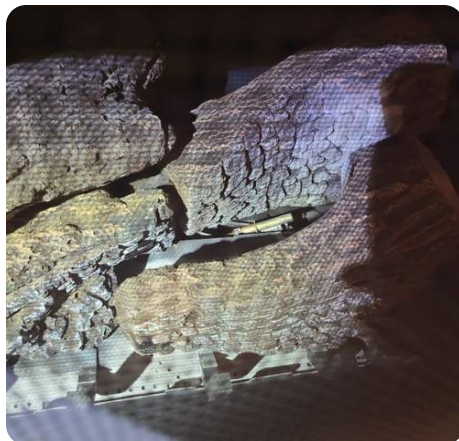


10.1 Fireplace > Fuel-Burning Equipment

Gas Log Not Tested Due To Unlit Pilot

🚫 **Limitation**

The gas log was not tested during the inspection as the pilot was not lit. It is recommended to have a qualified HVAC technician or a licensed chimney sweep evaluate the fireplace prior to closing.



11.1 Structural Components > Foundation and Slab

About the Foundation and Slab

Foundation Type: Finished Basement, Crawlspace

Finished Basement: A basement that's been fully renovated to function like a regular living space. It typically has drywall, flooring (carpet, tile, etc.), finished ceilings, lighting, and sometimes heating/cooling.

Foundation Anchors: Not Verified

Hairline Crack

Preventive Measure

A hairline crack (less than 1/16") was noted in the concrete stem wall. This is a common, typically cosmetic condition resulting from normal concrete shrinkage during the curing process or minor settling, and is not a current structural concern. It is recommended that the crack be sealed with a suitable concrete sealant to prevent moisture intrusion and monitored periodically for changes in width or length. If the crack widens (e.g. , Becomes wider than 1/8"), shows signs of water seepage, or other signs of structural distress (such as sticking doors or sloping floors) develop, a qualified structural engineer or foundation specialist should be consulted for a professional evaluation.



11.2 Structural Components > Beams, Columns, and Posts

Beams, Columns, And Posts Evaluated

✓ Functional

The visible and accessible beams, columns, and posts were evaluated during the inspection. It is important to note that some structural components are often not fully visible during a standard home inspection. Based on the areas that were accessible, all inspected structural elements appeared to be in functional condition at the time of the evaluation.



11.3 Structural Components > Joists and Framing

About the Joists and Framing

Wall Structure: Wood

Floor Structure: Wood 2×8

Ceiling Structure: Not Visible

Joists And Framing Evaluated

✓ Functional

Joists and framing members are typically concealed within the construction and are not fully visible during a standard home inspection. However, the accessible portions that were inspected appeared to be in satisfactory condition, with no significant issues or concerns identified at the time of the evaluation.



11.4 Structural Components > Roof Structure and Attic Components

About the Roof Structure and Attic Components

Roof Structure Type: Rafters

Roof Structure And Attic Components Evaluated

✓ Functional

The inspector examined the accessible roof structure, including rafters, and sheathing, within the attic.



12.1 Insulation and Ventilation > Insulation and Ventilation in Attic

About the Insulation and Ventilation in Attic

Attic Access Location: Bedroom

Attic Evaluation Method: Head and Shoulders

Head and Shoulders: The Inspection was limited to at or near the attic entrance due to access issues.

Insulation Type: Blown-In-Fiberglass

Attic Insulation Approximate Depth: 20-25 Inches

Ventilation Recommendations

Informational

Adequate attic ventilation is essential for proper energy efficiency and the health of the structure. Half of the ventilating area should be near the roof's high point, and the other half near the eaves. Precise measurement of ventilation space is outside the scope of this home inspection. We recommend you contact a qualified professional trade for further evaluation.

Non-Functioning Powered Vent Fan

 (Included in Summary)

Repairs Recommended

The powered vent fan in the attic is not functioning. It is recommended to evaluate and repair the fan to ensure proper ventilation in the attic. Proper attic ventilation helps in preventing moisture buildup and prolongs the life of the roof. A qualified electrician or HVAC technician can assess and repair the powered vent fan to maintain good air circulation.



Insulation Functionality Evaluation

Functional

The insulation in the attic appears to be functional. It is recommended to regularly inspect the insulation for any signs of damage or settling which could affect its effectiveness over time.



12.2 Insulation and Ventilation > Insulation and Ventilation in Crawl Space

About the Insulation and Ventilation in Crawl Space

Crawl Space Evaluation Method: Entered

Crawl Space Access Location: Exterior

Backwards Installation Of Batts

 (Included in Summary)

 Repairs Recommended

The batts in the crawl space are installed backwards. This can reduce their effectiveness in providing insulation. We recommend evaluating and reinstalling the batts with the vapor barrier facing the appropriate direction to ensure maximum insulation efficiency. A qualified insulation contractor should be consulted for this repair.



12.3 Insulation and Ventilation > Vapor Barriers

No Vapor Barrier

 (Included in Summary)

 Repairs Recommended

The structure crawl space lacks a vapor barrier. It is suggested to install a vapor barrier or Moist-Stop if any dampness occurs in the crawl area. A vapor barrier covering the soil can help reduce moisture in this area and the structure. This item is commonly available at most home improvement or hardware stores.



12.4 Insulation and Ventilation > Mechanical Exhaust Systems

Exhaust Systems Evaluated

✓ Functional

The exhaust system was evaluated and appeared to be serviceable.